

Clongriffin Planning Supporting Document

An Bórd Pleanála

August 2019

Gerard
Gannon[®]
PROPERTIES

Materials and Finishes Report

Please Note; All drawings within the report are for reference only. Refer to full scale drawings for detail.

PROJECT TEAM

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Planning Consultants	Downey Planning
Architects	Conroy Crowe Kelly Architects Wilson Architecture Downey Planning & Architecture
Landscape Architects	Ronan McDiarmada & Associates
Civil Engineers	Waterman Moylan & Associates
M&E Engineers	DKP International
Environmental	Openfield Ecological Services
Archaeology	Courtney Deery Heritage Consultancy



Station Square, Clongriffin - June 2018

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1.0 OVERVIEW & PRECEDENTS

1.1 Introduction

This report has been compiled to address the An Bord Pleanala Notice of Pre-Application Consultation Opinions issued for Case Reference ABP-303260-18 for Plots 6, 8, 11, 17, 25, 26, 27, 28 and 29 at Clongriffin Dublin 13 and ABP-303262-18 for Plots 4, 5 and 14 at Clongriffin Dublin 13.

Item no. 2 of the Opinion issued for Case Reference ABP-303260-18 and item no. 3 of the Opinion issued for Case Reference ABP-303262-18 asks for:

"A report that specifically addresses the proposed materials and finishes of the proposed structures including specific detailing of finishes, openings and privacy screening, the treatment of balconies/privacy screening, shopfronts, landscaped areas, pathways, entrances and boundary treatment/s. The treatment/screening of exposed areas of basement ramps and podiums should also be addressed. Particular regard should be had to the requirement to provide high quality and sustainable finishes and details which seek to create a distinctive character for the overall development within the proposed character areas and having particular cognisance of the requirement to avoid blank facades. The documents should also have regard to the long term management and maintenance of the proposed development."

The Pre Application Consultations for the above blocks are referred to within the applicants documents as Clongriffin SHD 1 for Blocks 6, 8, 11, 17, 25, 26, 27, 28 and 29 and Clongriffin SHD 2 for Blocks 4, 5 and 14. These SHD applications are being submitted concurrently to An Bord Pleanala with a third concurrent application for adjacent Blocks 3, 13 and 15 to Dublin City Council.

The 15 blocks which form the subject applications outlined above are the infill of the final blocks within the Clongriffin masterplan development. The material palette has been carefully thought through to create distinct neighbourhoods within the town as well as providing continuity of high quality durable finishes to the landscape and building facades. The quality of the urban environment created in this new town has been Gerard Gannon Properties aim from its inception and will continue to be in the next proposed phase.



Images of high quality existing material palette in Clongriffin

- Clongriffin SHD 1
- Clongriffin SHD 2
- Clongriffin Planning Application



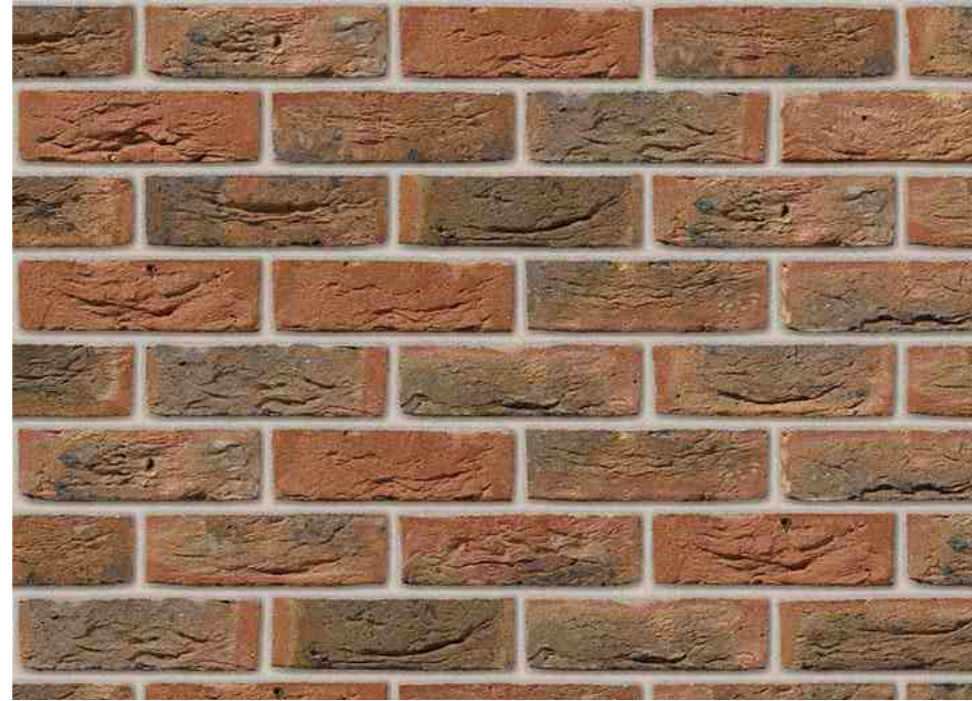
Bird's Eye View of Clongriffin SHD1, Clongriffin SHD 2 and Clongriffin Planning Application boundaries, showing the location of all proposed block subject to this document

1.2 High Quality Sustainable Finishes

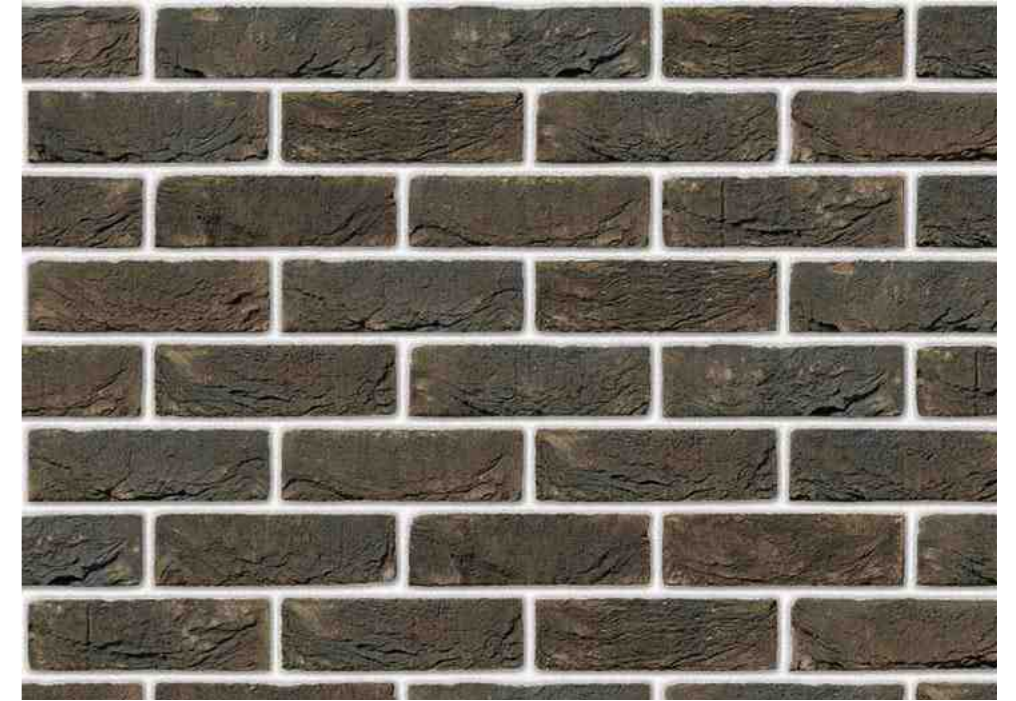
Brick is intentionally chosen as one of the primary materials in Clongriffin for its durability, low maintenance requirements and long life span. This can be seen in the existing built fabric and will also continue through in this proposal. A palette of contrasting brick tones is used to create a unique character for the different buildings and distinguish the new neighbourhoods. Precast capping or metal flashing details will be used at parapets to minimise staining and protect the brick from weathering. Contrasting mortar pointing will accentuate the brick finish where darker tones are used.

The rest of the material palette within the development will compliment the primary brick elements. Reconstituted stone cladding will be used at the commercial office blocks. Block 14 will feature equitone fibre cement panels. The residential tower at Block 17 will be the tallest building within the development and will create a new high quality landmark in the centre of the town with its vertical profiled aluminium composite cladding panels. Recessed penthouse apartments will be clad in profiled metal cladding of zinc or similar finish.

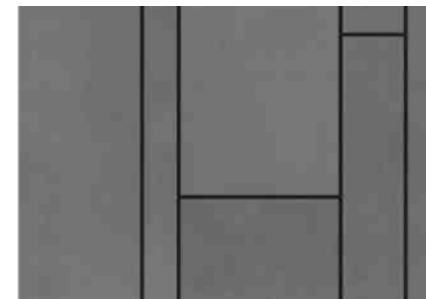
A separate building life cycle report has been prepared with this application which outlines in detail the measures which have been taken in the design process and material selection to manage and reduce costs for the benefit of the residents as well as planning for successful maintenance of the development.



Sample of proposed contrasting brick finishes, low maintenance durable finish



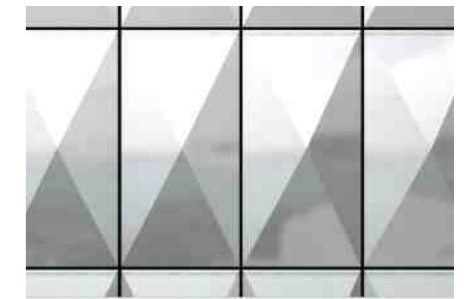
Stone cladding



Fibre cement panels



Profiled metal cladding



Profiled aluminium composite cladding panels

1.3 Specific Detailing of Finishes, Openings & Privacy



Profiled zinc or similar cladding



Glass and steel balcony design



Painted steel pergola structure



Powder coated aluminium doors and prefinished metal canopy to residential entrance cores



Powder coated aluminium sills



Block 5 North Elevation



Block 5 West Elevation



Powder coated aluminium windows with spandrel panels



Painted timber doors at own door ground floor apartments

Entrance canopy reference image - simple steel and glass design

1.4 Balconies and Privacy Screening

A mix of design approaches are taken to ensure privacy is maintained for residents in the design of the balconies at different blocks and within different neighbourhoods. This creates a varied feel for the different neighbourhoods within Clongriffin.

Some blocks have fully recessed balconies with excellent privacy. The lakeside neighbourhood of Blocks 25, 26 and 27 have recessed balconies integrated into the facade. Other blocks have semi-recessed balconies while others have balconies overhanging the facade, soometimes within a steel or brick outer frame which allows for perependicular screening with opaque glazed screens. Clear glass screens 1.8m high are employed at a number of overhanging balconies adjacent to corners to provide protection from the wind. These were identified in the indepent wind study and report which accompanies this application. Block 5 has a painted steel pergola structure which supports the balconies outside the facade, allows for perependicular opaque privacy screens between adjacent balconies and will also support a cable green wall system to form an extension of the landscape in adjacent Beltree Park. The green wall system will also aid privacy for residents. Regular maintenance will be carried out by the property management landscape contractors.

At upper levels where balconies are protruding and adjacent to one another, opaque glass screening is employed to maintain privacy of outdoor amenity space.

Balcony design will be kept simple with prefinished steel in charcoal finish and either glass or metal balcony railing. The balcony structure can be made and prefinished off site to allow for ease of installation and superior finish.



Green wall system



Recessed balconies - Block 6 and Lakeside neighbourhood



Opaque glazed screen



Block 5 West Elevation to Beltree Park
Painted steel planted pergola structure at balconies
With opaque glazed screens for privacy



Block 8 East Elevation to podium - Brick framing around balconies
With opaque glazed screens for privacy

1.5 Entrances & Boundary Treatments

The approach to the design of building entrances and ground floor apartments has been carefully thought through during the design process. At apartment main entrances a combination of recessed doorways and canopy overhangs are used to provide weather protection and security for residents.

Facades at street level have been designed with privacy as one of the primary aims. Building setbacks in conjunction with landscape planting are used to maximise privacy to tenants in ground floor units. A number of different approaches have been taken to maximise privacy depending on the building setback from the public footpath

Threshold Condition 1

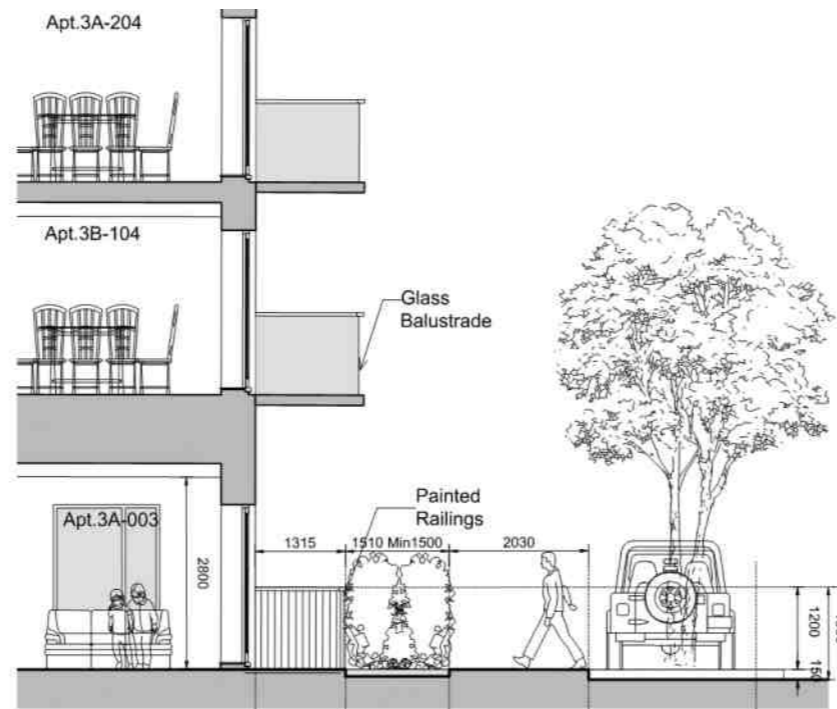
Where the planting strip between the outer edge of the residents private amenity space and the adjacent footpath is greater than 1.2m own door apartments with the finished floor level with the footpath are considered approach since there is sufficient landscape buffer and own door units provide an active street presence.

Threshold Condition 2

Where the overall distance between the building setback and public footpath is less than 1.2m, the ground floor unit are accessed internally from the rear and are raised upon so far as is possible with Part M compliance to provide a level difference with the adjacent street and improved privacy for the resident's private amenity space.

Threshold Condition 3

Fully recessed terrace at ground floor unit with painted railing and planting in front



Section B-B through Apt. 3B-003

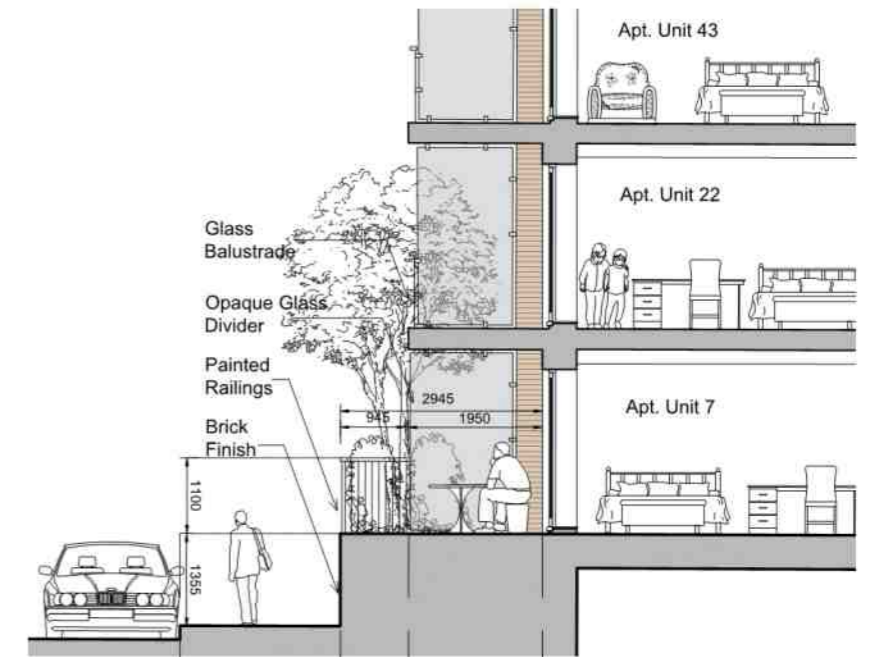


Part Plan Apt. 3B-003 Ground Floor Level

Threshold Condition 1, Block 3 - terrace with painted railing & planting level with street



Threshold Condition, Block 3 - recessed terrace with planting



Section A-A through Apt. Unit 7



Part Plan Apt. Unit 7 Ground Floor Level

Threshold Condition 2, Block 17 - terrace raised above street level below



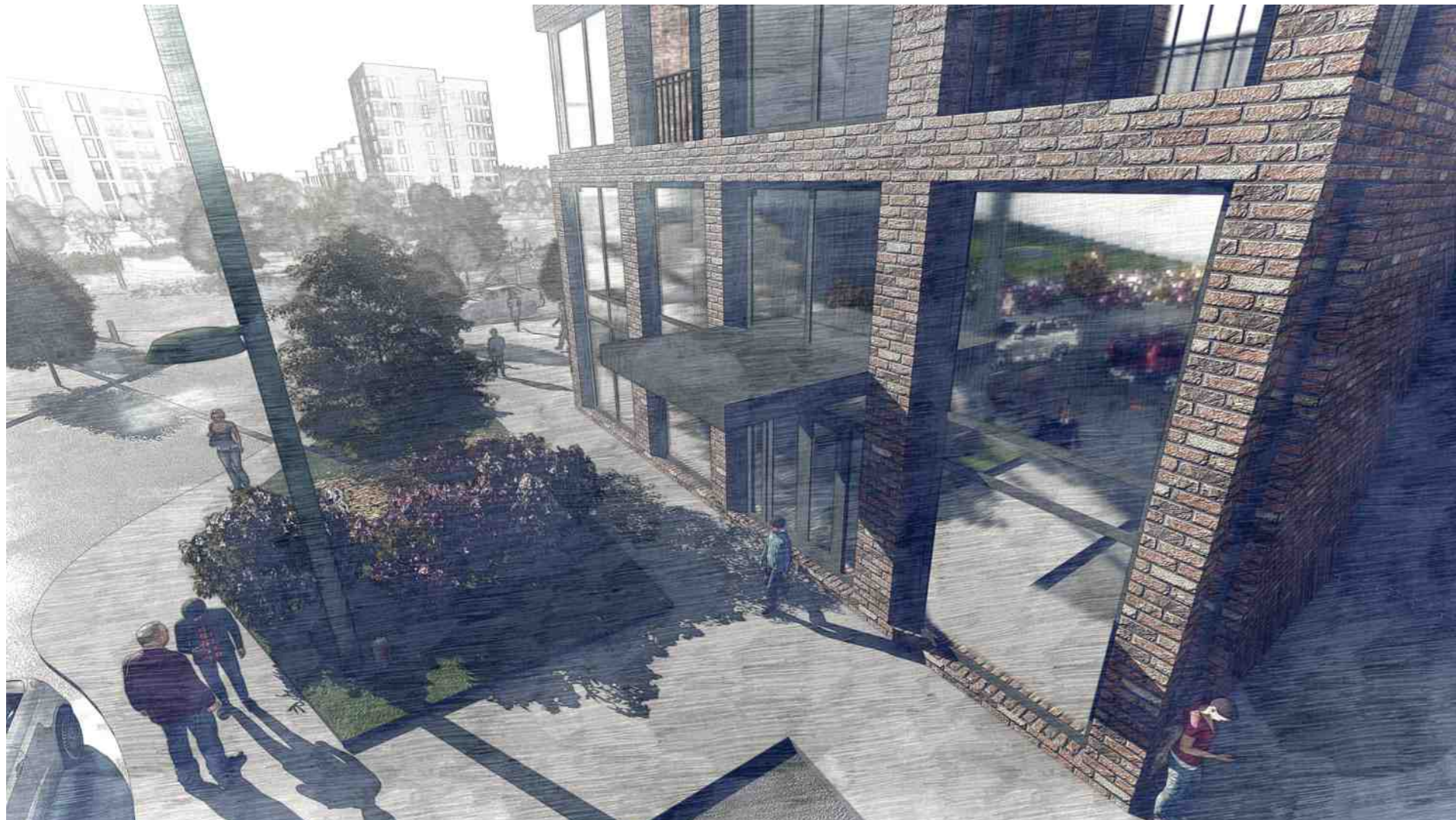
Threshold Condition 3, Block 6 - fully recessed terrace with planting

1.5 Entrances Case Study at Blocks 25, 26 and 27

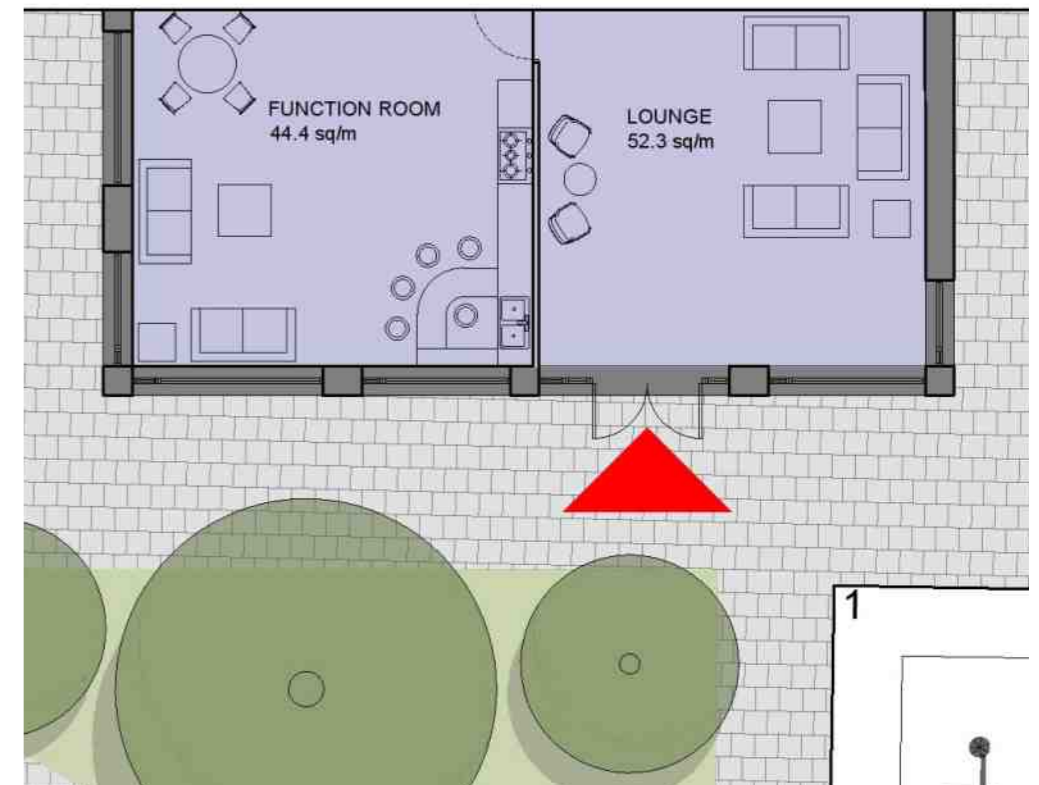
Block 26

The primary entrance for block 26 is on the south side of the building. The entrance is highlighted by a large aluminium canopy above it. The area on front of the entrance is separated from the adjacent road and footpath by an area of planting.

The main entrance arrives into a residents lounge with a concierge service. This space is double height and therefore prevents any balconies from being present directly above the main entrance.



Block 26 Main Entrance: Enter into double height space, no apartments overhead.



Plan and Elevation showing Block 26 main entrance

Block 25

Block 25 has one primary entrance. This is centrally located within its plan to allow quick access to the core, apartments and amenity spaces. The entrance is flanked either side by a residential lounge and the function room. This ensures that ground floor apartment's privacy is respected.

Vertically, privacy is insured by placing the entrance beneath common circulation spaces and a generous distance from any overhead balconies. This provides adequate privacy for private outdoor spaces throughout block 25.



Block 25 entrance



Opaque Glazing used adjacent to entrance to provide privacy to neighbouring amenity space at Block 25

Block 27

Block 27 has no single primary entrance, rather 4 entrances into the residential part of the building and a separate entrance for the creche on the western side. Entrances are indicated on the plan opposite by a red triangle.

The rear residential entrances allow for quick access from the rear car park. The front entrances are located directly off the footpath of Marrisfield Crescent West beneath aluminium canopy's used to highlight their location.

The location of these entrances, distance them from any of the private balconies of block 27 and therefore prevent any issues surrounding privacy/noise.



Block 27 front elevation: no overhead apartment balconies and planted verges to provide privacy

1.6 Landscaped Areas & Pathways

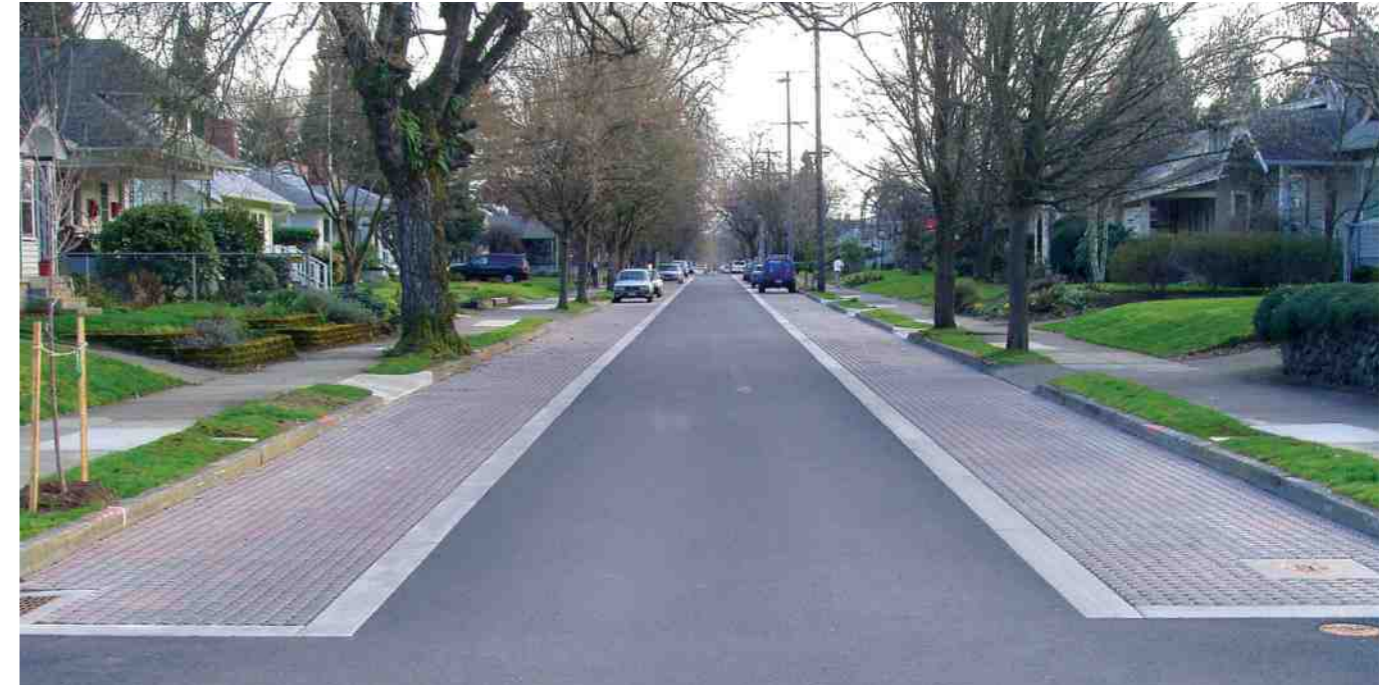
A comprehensive landscaping scheme has been prepared for the development by Ronan McDiarmada & Associates Landscape Architects focusing on a range of high quality outdoor spaces for residents which include public parks, communal amenity gardens within the blocks for residents' use, play areas with passive supervision at podium landscaped communal outdoor areas, extensive sedum roofs and roof gardens for residents providing for a wide range of residents needs. The landscape approach is integrated with the engineering design to ensure a highly sustainable development which can be easily maintained in the future.

In the public realm a hierarchy of streets is established through different landscape details between different zones in the town. On the Main Street boulevard and along Station Street to Marrisfield Crescent metal tree grilles are employed with a mix of 600 x 600 paving flags and charcoal setts. The intention is to integrate and complement the existing quality of the public realm here with durable low maintenance finishes.

On side streets resin bond tree pits are used with compact trees.

Permeable paving is used at all street parking spaces to assist the SuDS strategy for the development and provide sustainable rainwater attenuation.

In the semi-private realm the landscaped courtyards within the blocks employ a combination of biophilic planting, grass surface, paving, tree planting, defensive planting, benches and play equipment to create a varied outdoor environment for all to enjoy.



Landscape details in public realm - tree grilles on Market Street and permeable paving at on-street parking bays



Key precedent images of Landscaped Podium - semi-private realm

Block 5 Landscaped Podium & Roof garden

Sedum Green Roof

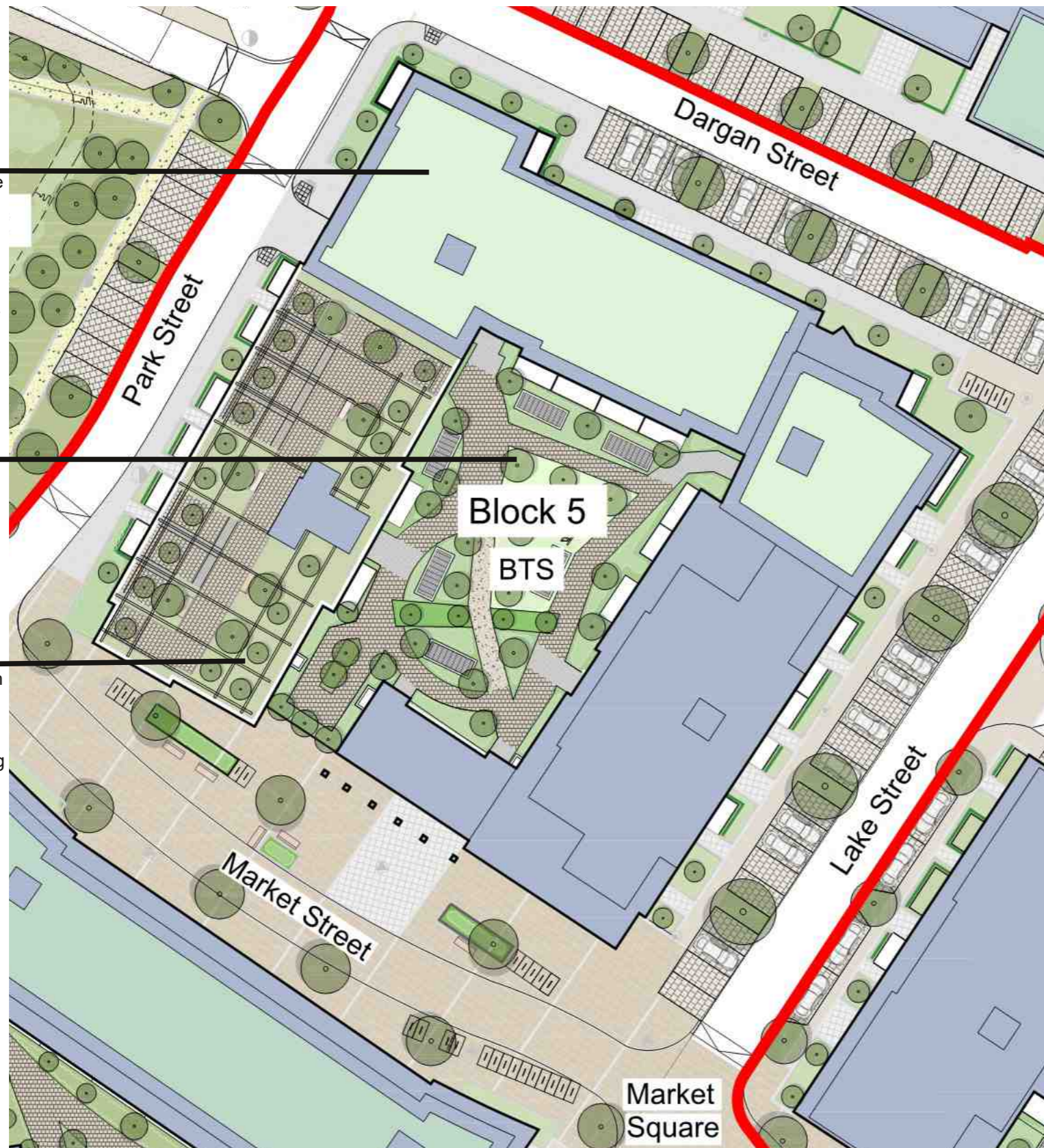
A layer of sedum plants across the roof in an extensive green roof system. Requires little maintenance and aids rainwater attenuation while providing improved acoustic performance of the roof for residents.

Landscaped Courtyard

A variety of shrubs, trees, hard landscape surfaces and seating areas provide amenity space for residents of all ages.

Landscaped Roof Graden

A roof garden is located on the 4th floor level of block 5, overlooking Belltree Park. A planted steel pergola structure and fixed seating mixed with planting and hard landscape surfaces provide a durable amenity space for residents.



Precedent image of Roof Garden.



Sedum green roof.

1.7 Shopfronts

The retail design strategy for the town centre as a whole is very important to Gerard Gannon Properties and a comprehensive document setting out Clongriffin Retail Design Guidelines for prospective retail tenants has been submitted as part of this application.

Active shop frontages are strongly encouraged, with a clear line of sight into the retail area, to provide an engaging retail interface between the retail and the public realm.

All external signage shall be subject to approval by the Landlord and shall be in keeping with the existing Landlord permitted signage within the area. The signage will be required to be individual lettering (400mm maximum height) accommodated within the dedicated signage area above each shop unit.

Companies will be advised to be prepared to adapt standard corporate signage and acknowledge the Clongriffin Retail Design Guidelines.

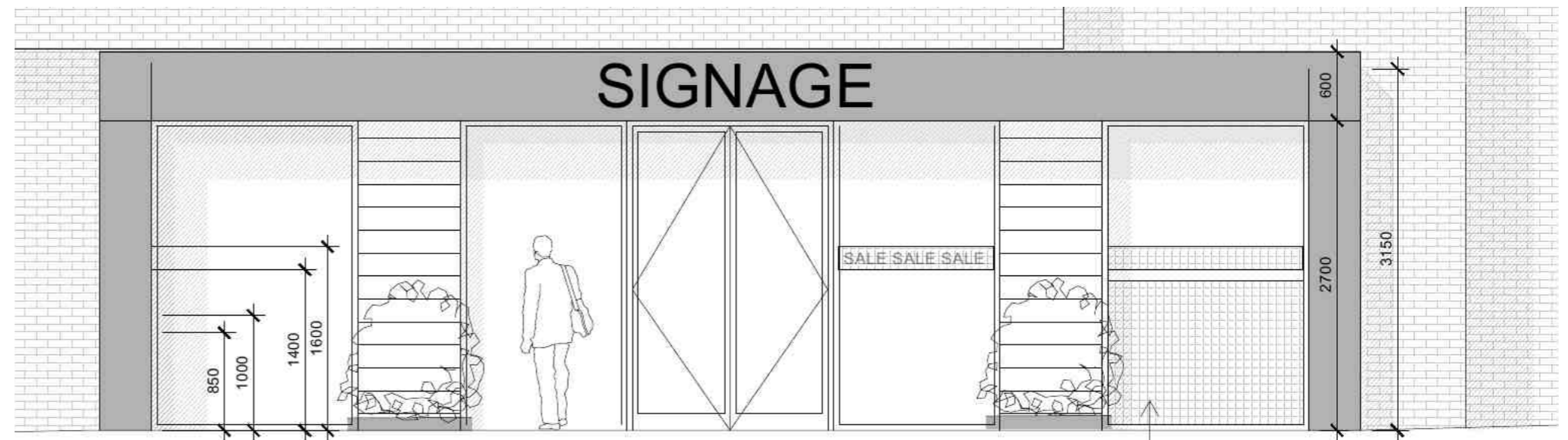
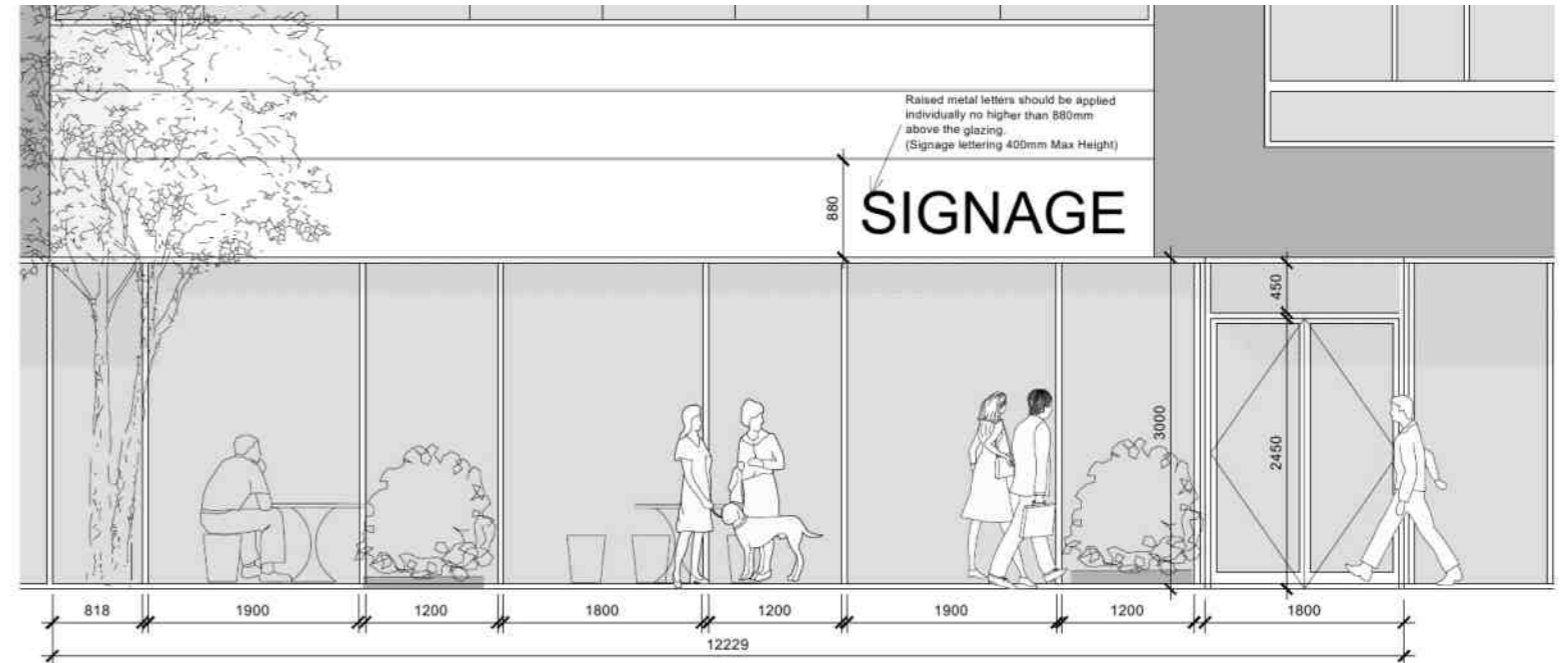
Guidelines for where glazing manifestation are suitable are outlined. It is not permitted to completely blank out windows. Any manifestations can not be solid, and must be transparent, opaque or patterned. Permitted manifestations are restricted at two heights, between 850-1000mm and between 1400-1600mm from the ground. Externally hanging signs will not be permitted.

Signage materials and colours should match and complement Clongriffin's material palette. Using metal such as aluminium and brass, for the individually mounted letterings is strongly encouraged, the use of these materials not only compliments and matches the existing material palette but it is low maintenance and durable.

Clongriffin is a part of the All-Ireland Pollinator Plan. As a supporter of the Pollinator Plan we are playing a vital role in helping pollinators to survive and improve biodiversity across Ireland. Tenants are strongly encouraged to incorporate some planting such as a couple of pots by the door or some window boxes at ground level.



Block 3 - No Fascia
Signage Option #1
 External signage mounted on the stone or brick cladding.



It is not permitted or encouraged to completely blank out shop-front windows, any manifestations can not be solid. They are required to be transparent, opaque or patterned and must be position within the permitted height.

WINDOW MANIFESTATION
 Permitted Heights
 Scale 1:50

1.8 Basement Ramps

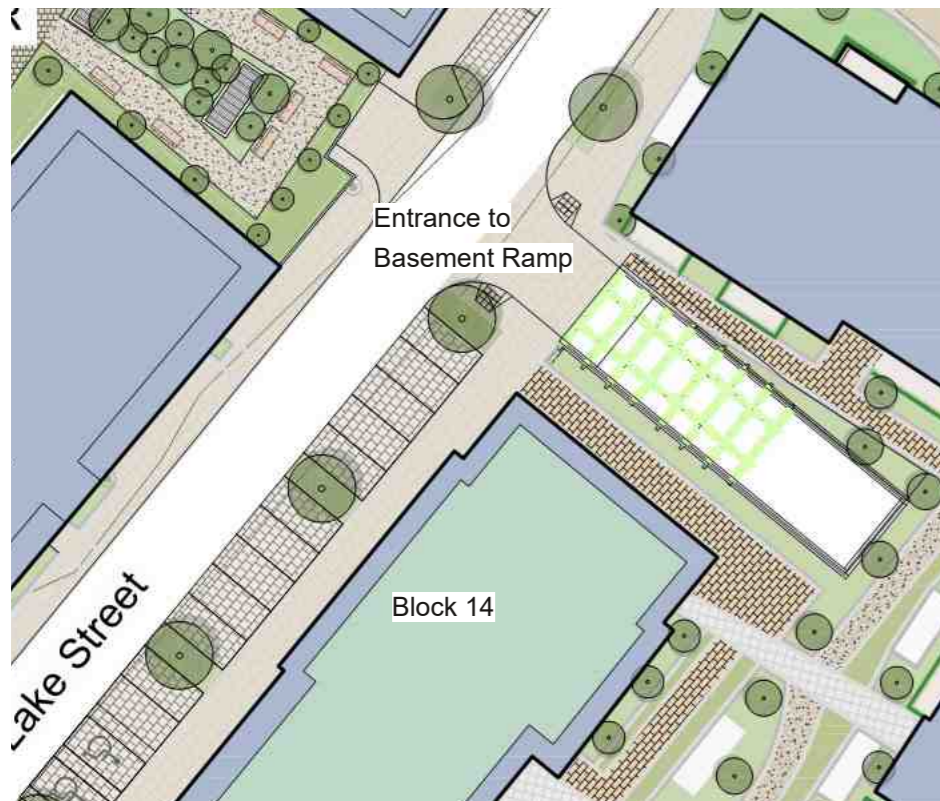
Only two blocks have basement ramps to an underground car park, Block 14 and Block 17. At Block 17 the access ramp runs along the east boundary of the plot adjacent to the railway line to the basement car park which is open along the east side.

A painted galvanised steel pergola structure is proposed at the ramp which will be planted with suitable durable planting to increase the visual amenity for residents overlooking from above at Block 17. The ramp will not be visible to the general public on the street as it is hidden view at the street by the building.

At Block 14, the exposed area of the ramp is quite short. The landscape proposal is to provide planting at the north, south and east sides as well as a pergola structure overhead which will be planted.



Block 17 proposed planted steel pergola structure at ramp to basement parking



Block 14 proposed steel pergola structure at ramp to basement parking

1.9 Blank Facades

Great care has been taken to avoid blank facades throughout the scheme. Given the nature of the sites being 15 urban blocks all elevations will be viewed from the street or railway line.

In pre-application discussions with the local authority the railway line elevations of Blocks 8, 11 and 28 were highlighted as areas which should not have blank facades. The u-shaped arrangement of these blocks have been elevated so that the end blocks have animation to passing rail commuter traffic.

Block 27 design evolved between the Stage 2 submission for consultation with An Bord Pleanala and the planning proposal further to discussion and review of the approach along Marrsfield Avenue.

At Block 4 care had been taken at the end gable of Block 4B to ensure this does not present a blank facade as one approaches from the north down Lake Street.



Block 4B north elevation



Block 27 west elevation - as submitted for Stage 2 SHD submission



Block 27 west elevation - proposed for Planning



BLOCK 8 - EAST ELEVATION TO RAILWAY



BLOCK 11 - EAST ELEVATION TO RAILWAY

1.10 Public Realm and Permeability (Market St)

Market Street forms a new quay link route within Clongriffin which will greatly enhance the daily wayfinding experience for both existing and new residents.

Market Street will connect Fr. Collins Park to Station Square along a pedestrian and cyclist focussed street, with active frontage along the majority of it's length. This pedestrian and cycle priority street has been carefully laid out to encourage a safe and inviting environment for those on foot or two wheels, with car park entrances located to the sides of adjacent blocks and traffic encouraged onto other roads. Small amounts of traffic will be allowed onto the street as necessary, for example for drop off or commercial loading during designated times which will aid passive surveillance. Raised tables will be employed at the minor junctions crossing the street to make the hierarchy clear.

High quality landscaping, bicycle stands, tree planting and active frontages from both civic and commercial uses will all combine to create a lively and safe street. Public benches will also be provided to encourage lingering and informal encounters. Active frontages onto the street, minimal car traffic, and occasional loading access along with passive surveillance from residential units above, all combine to create a balanced, human scale street. Further detail on the design of Market Street can be found in the Landscape Architects reports and full scale drawings.

Neighbourhood Street with greenway



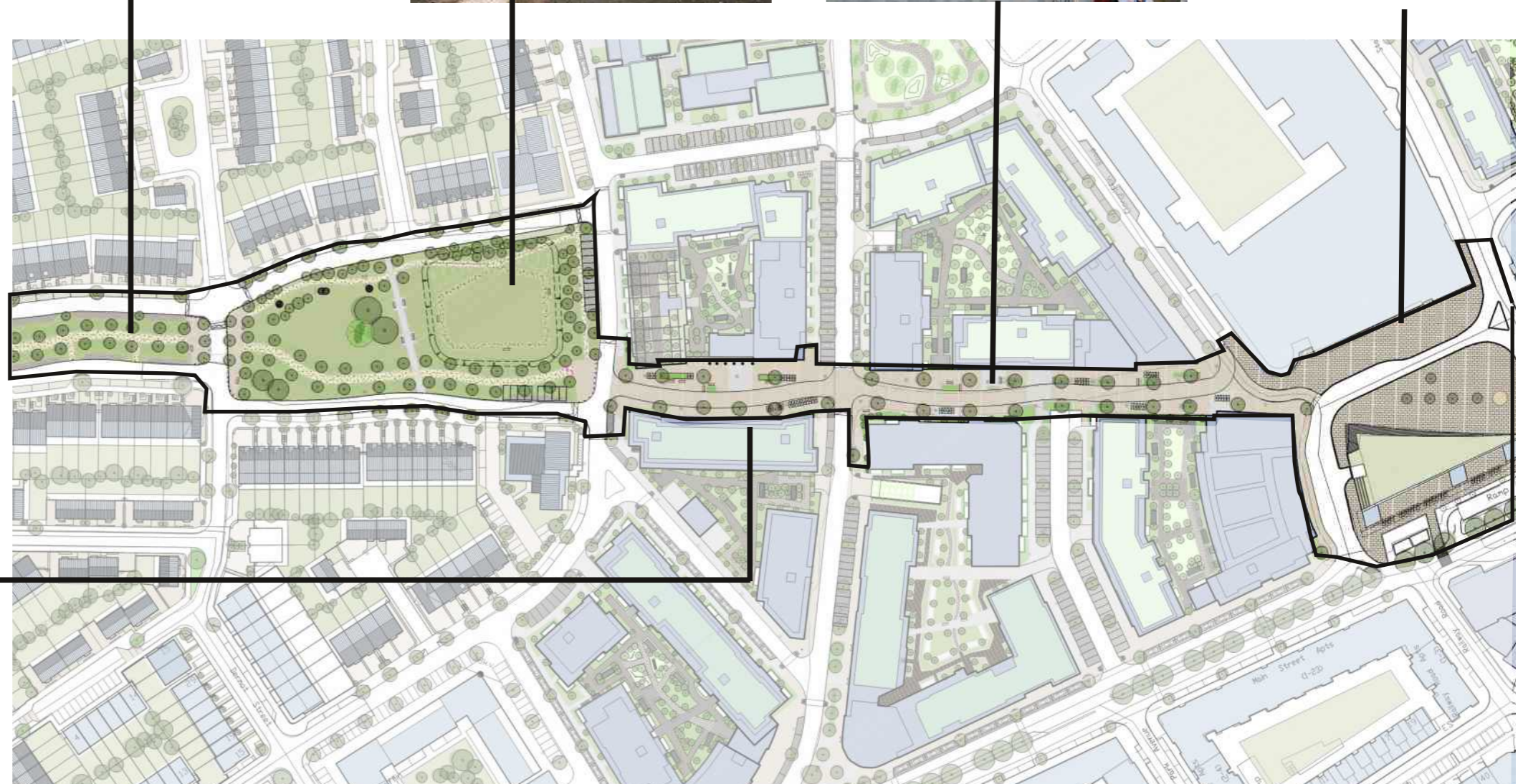
Belltree Park



Shared surface Pedestrian & bicycle priority street



Station Square

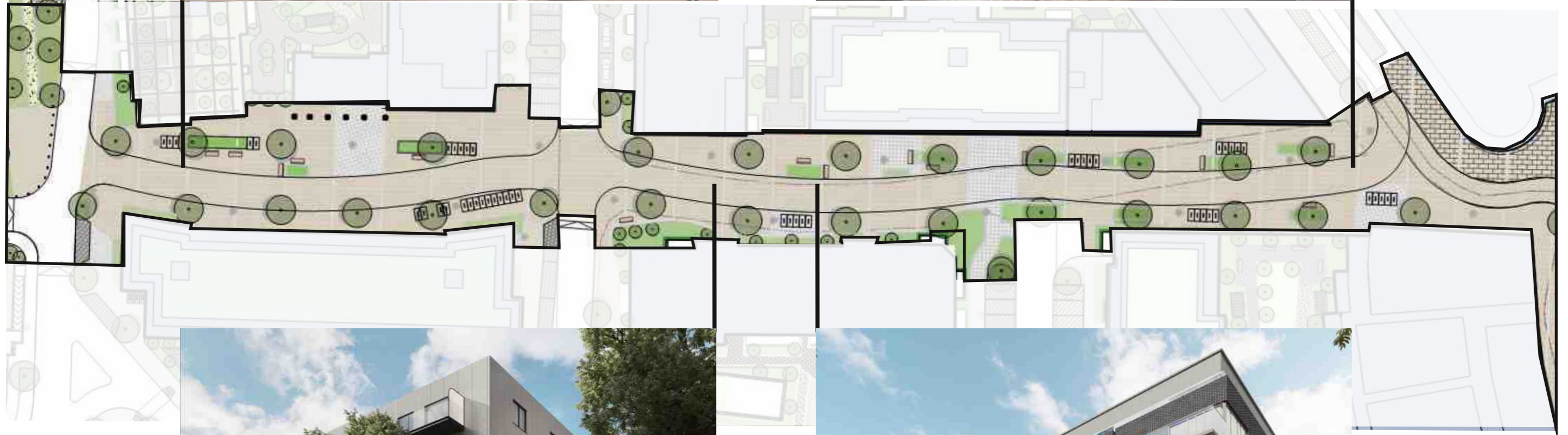


Site Plan showing the variety of qualities of public realm along Market Street

Facade Details

The primary facade cladding material used is a mixture of natural red bricks, dark grey bricks and stone is employed to add interest and break down the scale and grain of the blocks.





2.0 DESCRIPTION OF BLOCKS

2.1 BLOCK 3 - Material Palette and Description

Block 3 has a 6 storey commercial block at the corner of Lake Street and Main Street. The material palette for the commercial block changes to distinguish its public front at this key junction.

The building finishes are designed to be robust, durable and maintenance free. Brick is chosen as the primary material for the residential accommodation over levels one to four. A mixture of bricks is employed to add interest and break down the scale and grain of the blocks. The use of render is minimal and only limited to the internal courtyard elevations in selected areas.

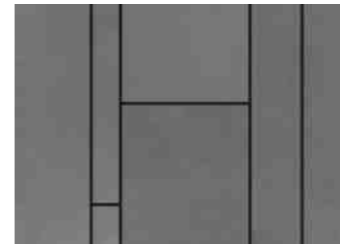
The residential facades are pushed and pulled over their length and height with balconies, recessed roof terrace and articulated shared concierge entrance. A light zinc or similar cladding will be used at the recessed penthouse level. Flat roofs will be single ply membrane or extensive sedum green roofs as indicated on roof plans.

Stone cladding panels are employed on the commercial element to distinguish it as different and provide a more public facade. The offices sit over a retail plinth which will be primarily glazed.

The building form is uncomplicated. Recent issues with weathering of complicated building forms and high maintenance materials has resulted in shoddy appearance in new schemes which are not well maintained. These buildings are designed to weather elegantly over time.



Key precedent images of material palette for Block 3



Profiled Metal Penthouse Cladding

The penthouse of both the office and residential blocks are clad in profiled metal cladding and recessed to reduce overshadowing to neighbouring residents.

Stone Cladding Panels

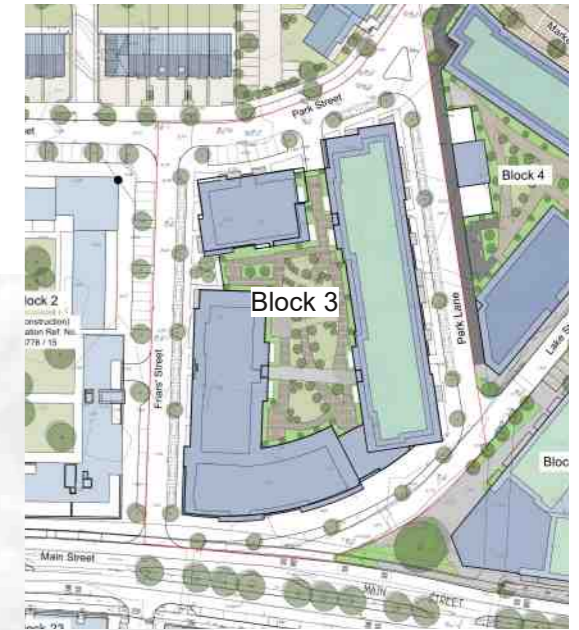
The material change on the commercial elements of the blocks provides a more public facade and highlights the distinction between the residential and commercial uses

Fibre Cement Panels

Material change at the main residents entrance

Rustic Permeable Paving for parking spaces

Surface changes between the street, parking spaces and the public footpath, provides distinction and safe navigation for the public as well as being an important sustainable attenuation feature.



Brickwork facade

The primary facade cladding palette is a mixture of Natural red bricks and Dark grey bricks which create a variation in the facade of the block and break down the scale and grain of the blocks.

Steel and Glass Balconies

Steel and glass is the primary materials used for balconies and balustrades. Opaque glass screens are used at adjacent balconies to ensure privacy for residents.

2.2 BLOCK 4 - Material Palette and Description

Description of Proposal

The building finishes are designed to be robust, durable and maintenance free. Brick is chosen as the primary material for the residential accommodation over levels one to four and it extends down to ground level at the ends to anchor the building. A contrasting palette of bricks is employed to add interest and break down the scale and grain of the blocks.

The residential facades are pushed and pulled over their length and height with a combination of recessed and projecting balconies, recessed penthouse and articulated shared concierge entrance. A light zinc or similar cladding will be used at the penthouse level, in a subtle reference to the residential palette in adjacent Beltree Park housing. Flat roofs will be single ply membrane or extensive sedum green roofs as indicated on roof plans. Stone cladding is employed at ground level along Priory Lane to distinguish it as different from the residential above and provide a more public facade at the community centre, men's shed and creche. On Market Street and Lake Street stone cladding is used at ground level also to establish the public realm at this level.

Double height curtain wall glazing and the prominent angled building form will express the community centre as a new community hub within Clongriffin. Painted steel railings and gates 2m in height are provided at the Men's Shed and creche amenity yards to balance visual links to the public realm, security and passive surveillance.



Precedent Image - Building form



Precedent Image - Recessed balconies



Precedent Image - Activity to street at ground floor level with breaks in facade at creche and men's shed yard with podium communal space above



Profiled Metal Penthouse Cladding

The penthouse level residential units are clad in profiled metal cladding and recessed to reduce overshadowing to neighbouring residents.

Recessed Balcony

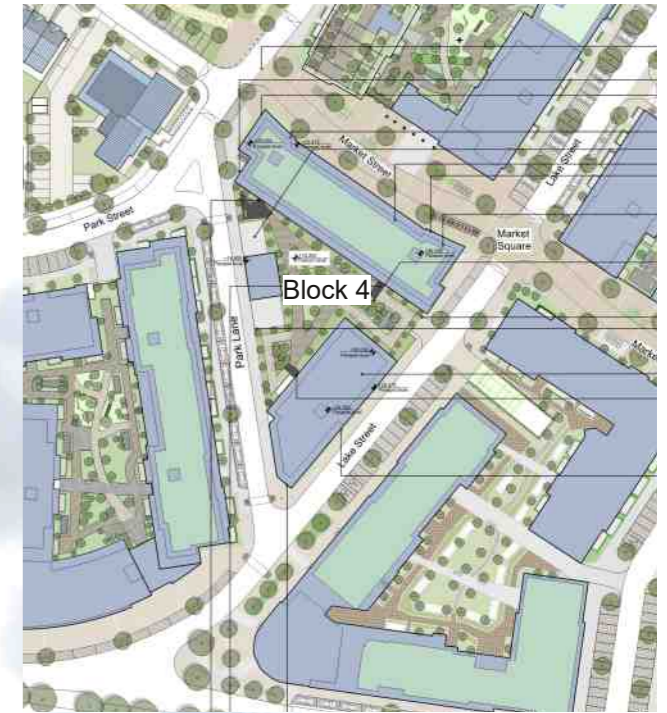
Balconies are recessed into the brickwork facade at corners with simple glass balustrades.

Brickwork facade

The primary facade cladding material used is a mixture of rustic red bricks and dark grey bricks are employed to add interest and break down the scale and grain of the blocks.

Stone Cladding

The material change at ground level provides a more public facade and highlights the distinction between the residential and commercial uses



Brickwork facade

Dark grey bricks are used to add interest and break down the scale and grain of the blocks.

Steel and Glass Balconies

Steel and glass is the primary materials used for balconies and balustrades. Translucent glass is used on certain balconies to provide more privacy.

Market Street - Shared Surface

Shared surface treatment at Market Street and raised tables at road crossing junctions emphasises pedestrian and cyclist priority in this zone.

2.3 BLOCK 5 - Material Palette and Description

Description of Proposal

The building finishes are designed to be robust, durable and maintenance free. Brick is chosen as the primary material for the residential accommodation over levels one to four. A mixture of bricks is employed to add interest and break down the scale and grain of the blocks.

The residential facades are pushed and pulled over their length and height with balconies, recessed roof terrace and articulated entrances to residential cores. A light zinc or similar cladding will be used at the recessed penthouse level. Flat roofs will be single ply membrane or extensive sedum green roofs as indicated on roof plans.

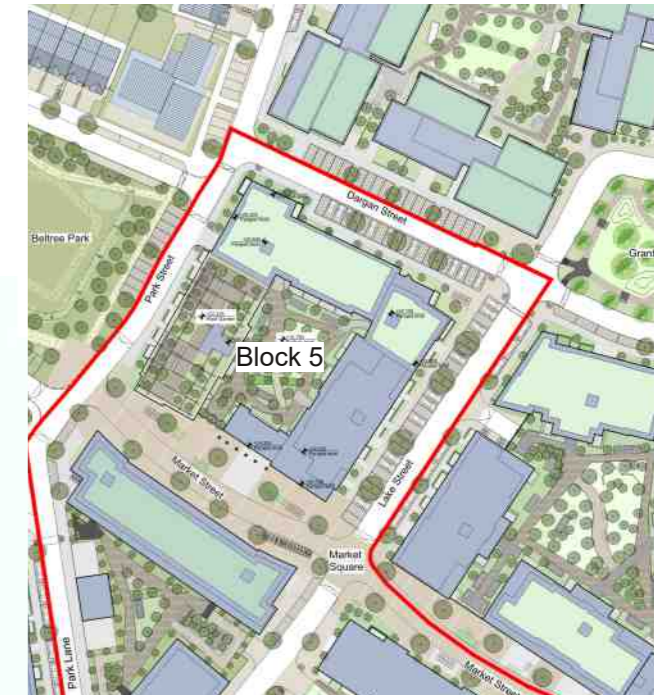
A painted steel pergola structure supports the balconies and opaque glass privacy screens on the west facade. This structure will also support a cable green wall system at the terminal point of Beltree Park which is currently under construction. A similar pergola structure at the 4th floor roof garden on the west wing of Block 5 will continue the theme from the facade.



Key precedent images of material palette for Block 5



BLOCK 5 - WEST ELEVATION TO PARK STREET



Wind Screens

1.8m high wind screens in transparent glass are provided to the ends of balconies adjacent to corners of the building which were highlighted by the wind report.

Brickwork facade

The primary facade cladding palette is a mixture of Natural red bricks and Dark grey bricks which create a variation in the facade of the block and break down the scale and grain of the blocks.

Steel and Glass Balconies

Steel and glass is the primary materials used for balconies and balustrades. Translucent glass is used on certain balconies to provide more privacy.

Painted Steel Pergola

Provides structural support to balconies on this facade as well as accommodating opaque privacy screening between adjacent balconies and green wall cable system

2.4 BLOCK 6 - Material Palette and Description

Description of Proposals

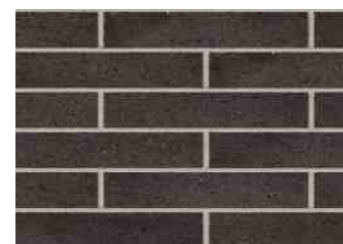
Maintaining common materials throughout Block 06 is integral to harmonizing this block architecturally and contributing to the creation of a quality amenity space on the site. The majority of the façade will consist of a palette of bricks used in a variety of bonds and styles laid to break up the elevation into a clean, stylish and modern architectural rhythm.

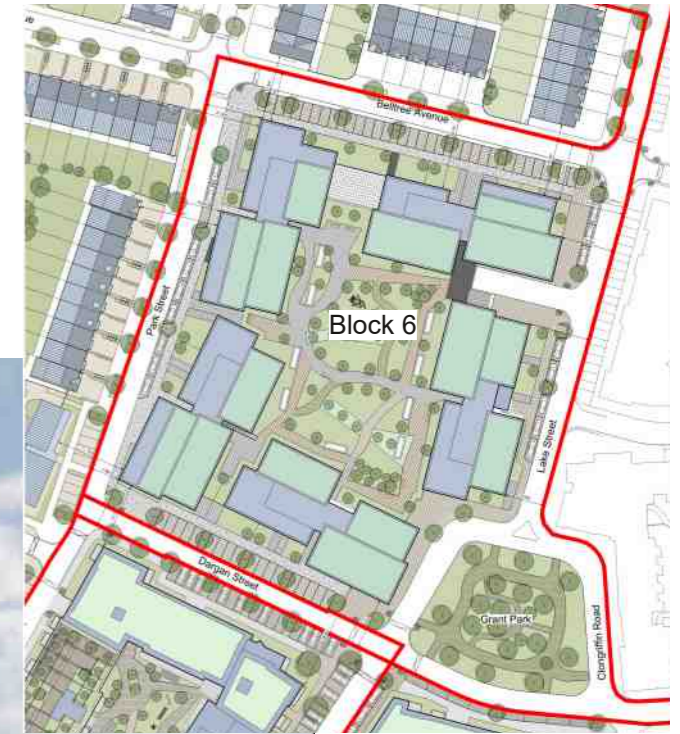
The overall form of the building is comprised of 5 blocks above podium level. These blocks are then further broken down by varying heights, set backs and material selection. This selection of materials will enhance the buildings contribution to the urban fabric and allow Block 06 to weather elegantly overtime.

In many places the uppermost floors are set back to minimize the visual impact of the building on the surrounding context. In certain areas zinc cladding will be used to further articulate and break down the massing of this block. The terraces and balconies of this block are recessed into the footprint of the building further minimizing its visual impact and increasing privacy for its occupants.



Precedent Images of Material Palette for Block 6





Recessed Balcony

The terraces/balconies are recessed into the footprint of the block and this minimizes the visual impact of the building. The railings of these outdoor spaces are intended to be powder coated metal.

Rustic Permeable Paving for parking spaces

Surface changes between the street, parking spaces and the public footpath, provides distinction and safe navigation for the public as well as being an important sustainable attenuation feature.

Brickwork facade

Brick is the primary material used for Block 06s facade. Dark grey and brown bricks are used to articulate the changes in form and massing throughout.

2.5 BLOCK 8 - Material Palette and Description

Description of Proposal

The building finishes are designed to be robust, durable and maintenance free. Brick is chosen as the primary material for the residential accommodation over levels one to six. A mixture of bricks is employed to add interest and break down the scale and grain of the blocks, The use of render is minimal and only limited to the internal courtyard elevations in selected blocks. The building form steps down at the south end to the new Railway Park to allow excellent daylighting in the semi-private communal open space at podium level.

The residential facades are pushed and pulled over their length and height with balconies, recessed roof terrace and articulated shared concierge entrance. A light zinc or similar cladding will be used at the recessed penthouse level. Flat roofs will be single ply membrane or extensive sedum green roofs as indicated on roof plans.

The building form is uncomplicated. Recent issues with weathering of complicated building forms and high maintenance materials has resulted in shoddy appearance in new schemes which are not well maintained. These buildings are designed to weather elegantly over time.



Key precedent images of material palette for Block 8



BLOCK 8 - WEST ELEVATION TO STATION STREET

Profiled Metal Penthouse Cladding

The penthouse level residential units are clad in profiled metal cladding and recessed to reduce overshadowing to neighbouring residents.

Brickwork facade

The primary facade cladding palette is a mixture of dark grey bricks and rustic bricks which create a variation in the facade of the block and break down the scale and grain of the blocks.

Rustic Permeable Paving for parking spaces

Surface changes between the street, parking spaces and the public footpath, provides distinction and safe navigation for the public as well as being an important sustainable attenuation feature.



Steel and Glass Balconies

Steel and glass is the primary materials used for balconies and balustrades. Opaque glass privacy screens is used on certain balconies to provide more privacy for adjacent apartments. 1.8m high wind screens in transparent glass are provided to the ends of balconies adjacent to corners of the building which were highlighted by the wind report.

2.6 BLOCK 11 - Material Palette and Description

Description of Proposal

The building form is uncomplicated. Recent issues with weathering of complicated building forms and high maintenance materials has resulted in shoddy appearance in new schemes which are not well maintained. These buildings are designed to weather elegantly over time.

The building finishes are designed to be robust, durable and maintenance free. Brick is chosen as the primary material for the main external cladding. A mixture of bricks is employed to add interest and break down the scale and grain of the block. Render is used at the inner facades to the courtyard which are largely protected from the elements by the deck access to the apartments.

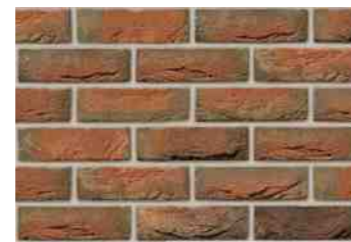
Mono pitched roofs are proposed with concrete capping to parapets. This will create a crisp and clean modern aesthetic at roof level. Flat roofs will be single ply membrane with concrete capping to parapets.

Walls will be select brick. The brick volumes will be broken by opaque glass balcony guardings. Glazing will have alu-wood frames.

Entrances will be clearly defined and privacy maintained for ground level apartments with recessed terraces with painted metal railings and planting in front.



Key precedent images of material palette for Block 11



BLOCK 11 - WEST ELEVATION TO STATION STREET



Brickwork facade

The primary facade cladding palette is a mixture of Natural red, ivory bricks and Dark grey bricks which create a variation in the facade of the block and break down the scale and grain of the blocks.

Semi-Recessed Balcony

Balconies are semi-recessed into the brickwork facade to enhance residents' privacy

Rustic Permeable Paving for parking spaces

Surface changes between the street, parking spaces and the public footpath, provides distinction and safe navigation for the public as well as being an important sustainable attenuation feature.

Steel and Glass Balconies

Steel and glass is the primary materials used for balconies and balustrades. Opaque glass screens are used at adjacent balconies to ensure privacy for residents. 1.8m high wind screens in transparent glass are provided to the ends of balconies adjacent to corners of the building which were highlighted by the wind report.

2.7 BLOCK 13 - Material Palette and Description

Description of Proposal

Block 13 has a 6 storey commercial block at the corner of Market Street and Clongriffin Road and retail units along Market Street at ground floor level. The material palette for the commercial part of the block distinguishes the different uses from the residential accommodation to the east, north and west of the block.

The building finishes are designed to be robust, durable and maintenance free. Brick is chosen as the primary material for the residential accommodation. A mixture of bricks is employed to add interest and break down the scale and grain of the blocks. The use of render is minimal and only limited to the internal courtyard elevations in selected areas.

The residential facades are pushed and pulled over their length and height with balconies, recessed roof terrace and articulated shared concierge entrance. A light zinc or similar cladding will be used at the recessed penthouse level. Flat roofs will be single ply membrane or extensive sedum green roofs as indicated on roof plans.

Reconstituted stone panels are employed on the commercial element to distinguish it as the more public facade. The fixed stone or metal panels within the office glazing will allow for sun shading and flexibility of subdivision for future tenants. The offices sit over a retail plinth which will be primarily glazed with prefinished aluminium surrounds to shop entrance glazing and residential entrances.



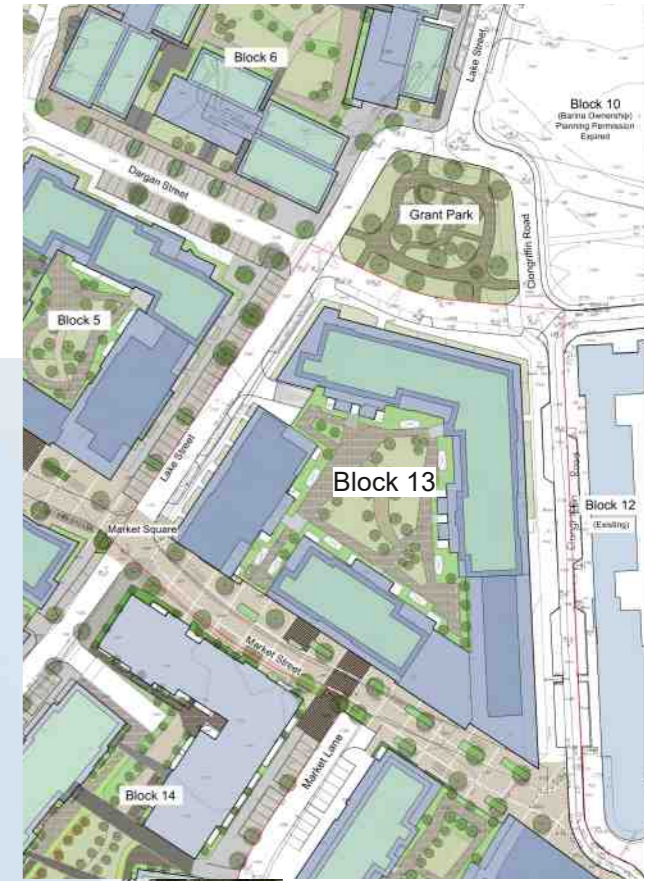
Key precedent images of material palette for Block 13





Stone Cladding Panels

The material change on the commercial elements of the blocks provides a more public facade and highlights the distinction between the residential and commercial uses



Reconstituted Stone or Aluminium Cladding Panels

To office curtain wall glazing to provide sun shading and flexibility of subdivision for future tenants



Brickwork facade

The primary facade cladding palette is a mixture of Natural red and Dark grey bricks which create a variation in the facade of the block and break down the scale and grain of the blocks.

Steel and Glass Balconies

Steel and glass is the primary materials used for balconies and balustrades. Opaque glass screens are used at adjacent balconies to ensure privacy for residents. 1.8m high wind screens in transparent glass are provided to the ends of balconies adjacent to corners of the building which were highlighted by the wind report.

2.8 BLOCK 14 - Material Palette and Description

Description of Proposals

A high quality of materials will be used throughout the development. Buff brick, natural stone, Equitone Fibre Cement Panels and Metal cladding will be incorporated in the scheme, comprising of two blocks of 6-8 storeys. The selection of a variety of materials adds interest to the development. The building finishes are designed to be robust, durable and maintenance free.

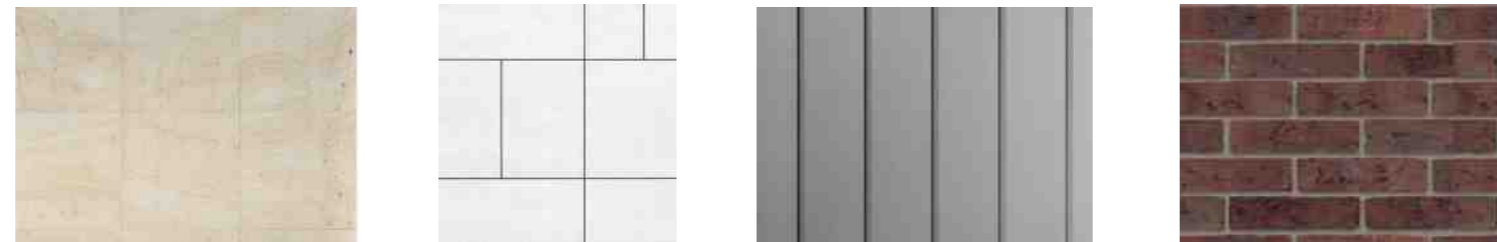
The feature corner of Block 14B contains double height glazing at ground floor level and is clad in natural stone from the second to the seventh floor. The corner is made up of facets and includes varying window sizes.

Brick is chosen as the primary material for the ground floor of Block 14B. This is punctuated with sections of curtain walling creating lively street frontages. Brick is also selected to clad the circulation cores in both blocks.

Fibre Cement and metal cladding in vertical panel format creates a strong elevation with crisp detailing. The vertical emphasis of the cladding materials breaks the elevation and adds interest. The choice of materials are those which are common in the area and so creates a development rooted to its context. The materials and external design make a positive contribution to the locality.



Key precedent images of material palette for Block 14



The development uses materials which are of high quality and durable. Balconies to the apartments are glazed with an opaque glass privacy screen to the ends. Overlooking and overshadowing is prevented.

The basement ramp is screened by a metal pergola and planted to soften the visual effect.

A mix of hard and soft landscaping materials will be used to create a varied and interesting external amenity space. Hard landscape paving and decking materials will be robust and durable and installed using proven details to minimise maintenance requirements. High slip resistance paving materials will ensure safety for all.

The roof of Block B incorporates a sedum roof, green roofs are promoted as a means of achieving more sustainable buildings as they improve the durability of water-proofing materials, provide flora, fauna and reduce rain water run-off.



Stone Facade

The corner of Block 14B is clad in faceted panels of stone. The panels and varying window sizes adds interest to the elevation

Fibre Cement Cladding

The main body of the proposal is clad in Equitone panels creating a uniform appearance

Metal Cladding

Feature elements are clad in metal. This breaks up the facade and adds interest.

Steel and Glass Balconies

Steel and glass is the primary materials used for balconies and balustrades.

Brickwork facade

Buff bricks are used to add interest and break down the scale and grain of the blocks



Sedum roof

Screening to basement ramp

Opaque glass privacy screening

2.9 BLOCK 15 - Material Palette and Description

Description of Proposals

Block 15 is a mixed use building with retail units and restaurants at ground floor level to Main Street, Station Square and part of Market Street. An 8 screen cinema addresses Station Square to the east while residential units form the eastern and southern blocks at the upper levels. The building finishes are designed to be robust, durable and maintenance free. Brick is chosen as the primary material for the residential accommodation. A mixture of bricks is employed to add interest and break down the scale and grain of the blocks.

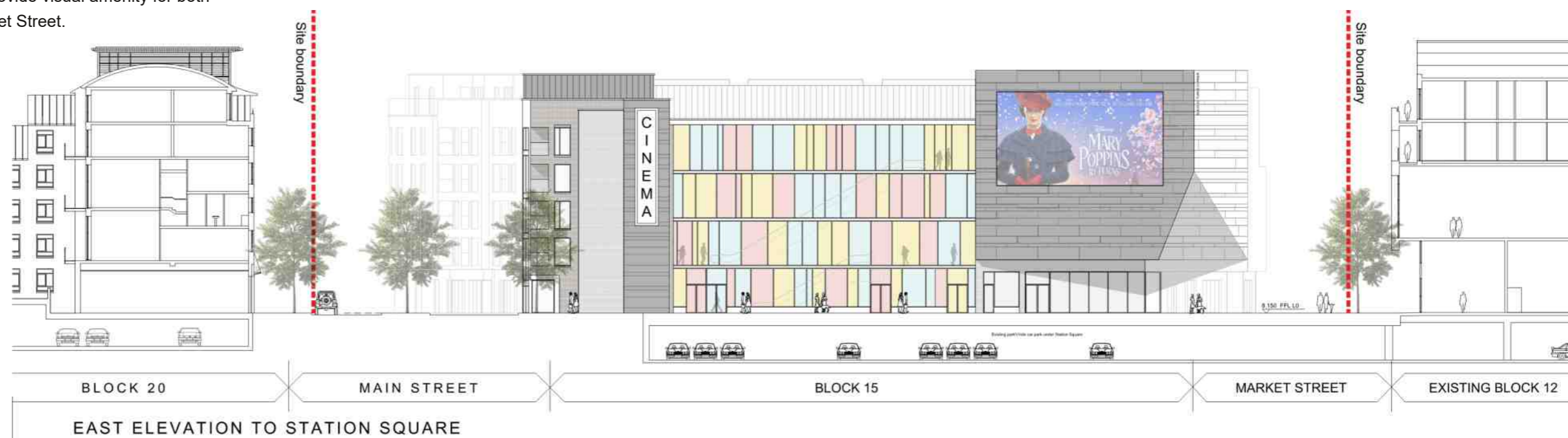
The residential facades are pushed and pulled over their length and height with balconies, recessed roof terrace and articulated shared concierge entrance. A light zinc or similar cladding will be used at the recessed penthouse level. Flat roofs will be single ply membrane or extensive sedum green roofs as indicated on roof plans.

Translucent coloured glass curtain walling and powder coated aluminium panels installed at different depths are employed to identify this building as an important landmark on Station Square and provide visual links to the activity going on within the cinema and restaurant units.

A green wall will be established on the rear facade of the cinema which faces the residential units across the podium courtyard. This will be maintained to a high standard and provide visual amenity for both residents and passers by along Market Street.

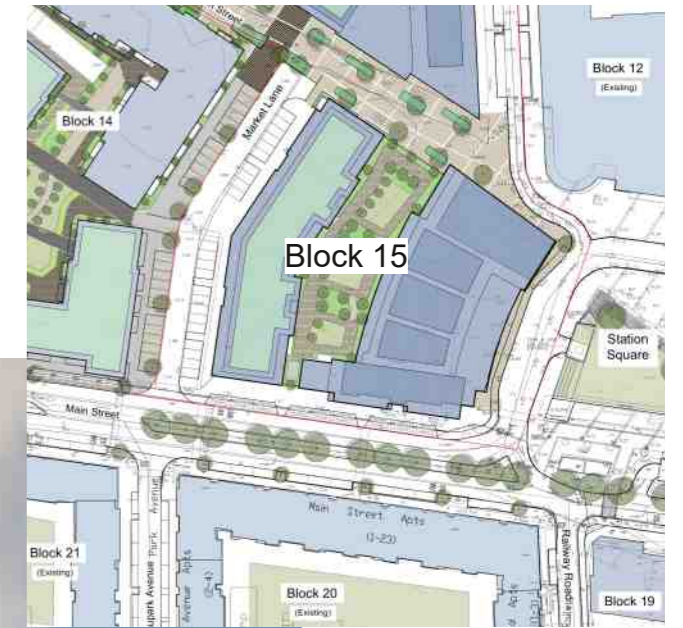


Key precedent images of material palette for Block 15



Green Wall

A green wall within the podium courtyard will be maintained to a high standard and provide visual amenity for both residents and passers by.



Profiled Metal Penthouse Cladding

The penthouse level residential units are clad in profiled metal cladding and recessed to reduce overshadowing to neighbouring residents.

Brickwork facade

The primary facade cladding palette is a mixture of ivory and dary brown c bricks which create a variation in the facade of the block and break down the scale and grain of the blocks.



Aluminium Composite Panels

The cinema volume will have ACM panels installed at varying depths

Translucent Coloured Glass Curtain Wall

Allows visual link between the public passing through Station Square to the activity and movement of cinema patrons

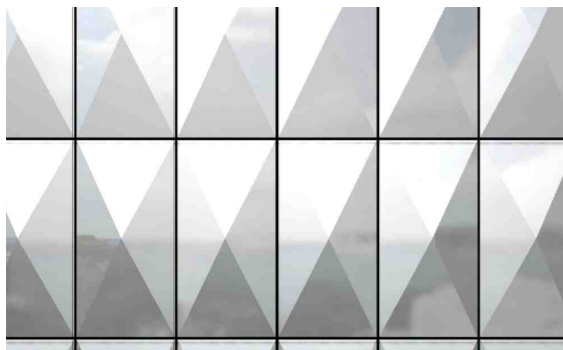
2.10 BLOCK 17 - Material Palette and Description

Description of Proposals

Block 17 will be a key landmark in the landscape of Clongriffin and its environs. Materials have been chosen to ensure a high, quality landmark which will enhance Station Square and its environs as one arrives into the town centre of Clongriffin.

The tower elements will be clad in full height curtain wall glazing and folded aluminium composite panels. Winter gardens are integrated into the tower. The roof of the tower to be clad in standing seam metal/aluminium. The lower volumes to the west and east will be clad in a light coloured buff brick with some overburn.

The guarding to the roof gardens at 6th and 7th floor levels will be flat plate glass behind the brick colonnade. A planted steel pergola in painted finish to selected colour will be located at the basement ramp to the car park.



Key precedent images of material palette for Block 17



Full Height Curtain Wall Glazing

This will ensure a high quality of natural daylight in the apartments and give the vertical elements a light and elegant expression.

Folded Aluminium Composite Panel Cladding

The tower cladding will be folded aluminium composite panels. With their unique raised profile it will present a high quality finish to the town for this landmark building on Station Square



Glazed Winter Gardens

The winter are incorporated into the facade within the tower element to provide flexible private amenity space

Brickwork facade

The primary facade material at the lower levels of the west block is a light coloured buff brick with some overburn.

Recessed Balconies

Some of th terraces/ balconies are recessed into the footprint of the block and this minimizes the visual impact of the building. The railings of these outdoor spaces are intended be powder coated metal and glass.

2.11 BLOCK 25 - Material Palette and Description

Description of Proposals

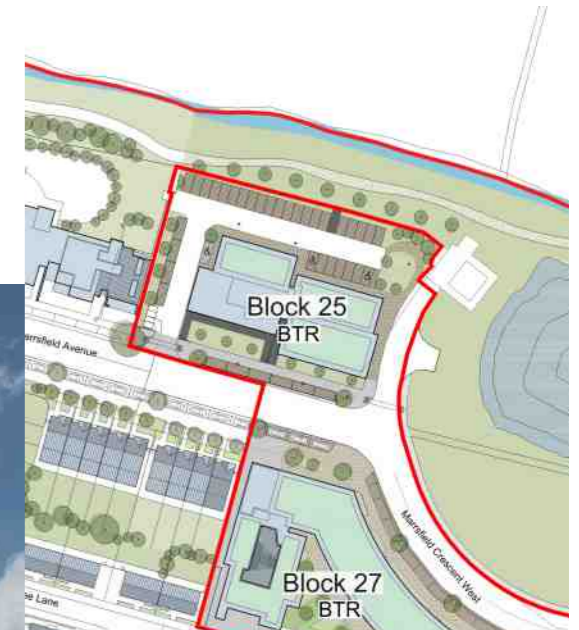
Maintaining common materials throughout Block 25 is integral to harmonizing this block architecturally with the other blocks which comprise the Lakeside Neighbourhood: Block 26 & 27. The majority of the façade will consist of a palette of bricks used in a variety of bonds and styles laid to break up the elevation into a clean, stylish and modern architectural rhythm.

The overall form of the building is simple yet elegant. It maintains a consistent architectural language throughout its design and utilizes a minimal material palette. It is set back from the street at the uppermost level to break down the form and lessen the visual impact of this block, this set back is then to be clad in zinc to articulate it further, from the rest of the block.



Key precedent images of material palette for Block 25





Recessed Balconies

The terraces/balconies are recessed into the footprint of the block and this minimizes the visual impact of the building. The railings of these outdoor spaces are intended to be powder coated metal.

Rustic Permeable Paving for parking spaces

Surface changes between the street, parking spaces and the public footpath, provides distinction and safe navigation for the public as well as being an important sustainable attenuation feature.

Brickwork facade

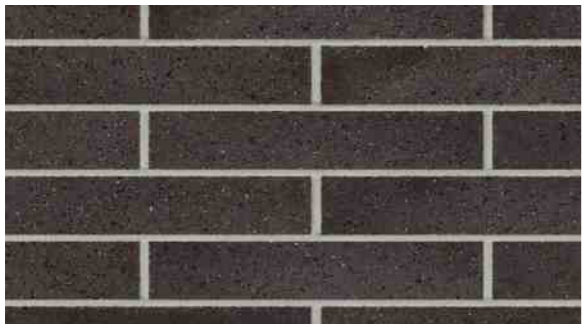
Brick is the primary material used for Block 25's facade. Dark grey and brown bricks are used to articulate the changes in form and massing throughout.

2.12 BLOCK 26 - Material Palette and Description

Description of Proposals

Block 26 is a vital component of the Lakeside Neighbourhood of this development and as such its chosen materials promote continuity with the neighbouring blocks 25 & 27. The form of block 26 acts as gateway building and landmark in the new Clongriffin development and therefore will be finished to a high standard using contemporary detailing and materials. The change in materials between the different heights of the block helps articulate its verticality.

The majority of the balconies in this block are recessed into the foot print of the building. This helps to encourage privacy and also helps to breakdown the massing of the tower. These balconies will utilize sleek powder coated metal railing to remain consistent with the rest of the development.



Key precedent images of material palette for Block 26



Recessed Balconies

The terraces/balconies are recessed into the footprint of the block and this minimizes the visual impact of the building. The railings of these outdoor spaces are intended to be powder coated metal.

Rustic Permeable Paving for parking spaces

Surface changes between the street, parking spaces and the public footpath, provides distinction and safe navigation for the public as well as being an important sustainable attenuation feature.

Brickwork facade

Brick is the primary material used for Block 26's facade. Dark grey and brown bricks are used to articulate the changes in form and massing throughout.

2.13 BLOCK 27 - Material Palette and Description

Description of Proposals

Block 27 is a vital component of the Lakeside Neighbourhood of this development and as such its chosen materials promote continuity with the neighbouring blocks 25 & 26. The form of the block is informed by the arc created by referencing the centre of the adjacent Lake. The consistent use of brick along this curving elevation helps to emphasise the natural beauty of the neighbouring public realm.

The majority of the balconies in this block are recessed into the foot print of the building. This helps to encourage privacy and also help to maintain the consistent edge of the arc which is repeated in the landscape surrounding the block. The colour of the brick is changed within these recesses to further break down the elevations.



Key precedent images of material palette for Block 27





Recessed Balconies

The terraces/balconies are recessed into the footprint of the block and this minimizes the visual impact of the building. The railings of these outdoor spaces are intended to be powder coated metal.

Rustic Permeable Paving for parking spaces

Surface changes between the street, parking spaces and the public footpath, provides distinction and safe navigation for the public as well as being an important sustainable attenuation feature.

Brickwork facade

Brick is the primary material used for Block 26's facade. Dark grey and brown bricks are used to articulate the changes in form and massing throughout.

2.14 BLOCK 28 - Material Palette and Description

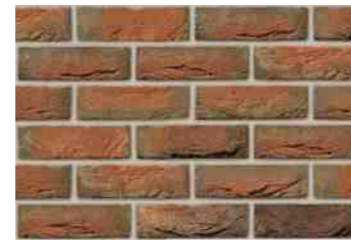
Description of Proposals

The building finishes are designed to be robust, durable and maintenance free. Brick is chosen as the primary material for the residential accommodation over levels one to six. A mixture of bricks is employed to add interest and break down the scale and grain of the blocks, The block is open to the east side along the railway to enhance daylighting to the communal open space.

The residential facades are pushed and pulled over their length and height with balconies, recessed roof terrace and articulated shared concierge entrance. A light zinc or similar cladding will be used at the recessed penthouse level. Flat roofs will be single ply membrane or extensive sedum green roofs as indicated on roof plans. Glazing at retail units along Station Street will be powder coated aluminium frames. A glass and metal walkway connects the first floor level of the two blocks along Station Street. The podium at first floor level can also be accessed by a gated entry to steps beyond the overhead walkway.



Key precedent images of material palette for Block 28



BLOCK 28 - WEST ELEVATION TO STATION STREET



Profiled Metal Penthouse Cladding

The penthouse level residential units are clad in profiled metal cladding and recessed to reduce overshadowing to neighbouring residents.

Steel and Glass Balconies

Steel and glass is the primary materials used for balconies and balustrades. Translucent glass is used on certain balconies to provide more privacy. 1.8m high wind screens in transparent glass are provided to the ends of balconies adjacent to corners of the building which were highlighted by the wind report.

Brickwork facade

The primary facade cladding palette is a mixture of Natural red bricks and ivory bricks which create a variation in the facade of the block and break down the scale and grain of the blocks.

2.15 BLOCK 29 - Material Palette and Description

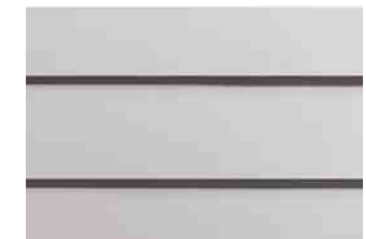
Description of Proposal

The building finishes are designed to be robust, durable and maintenance free. Brick is chosen as the primary material for the residential accommodation over levels one to six. A mixture of bricks is employed to add interest and break down the scale and grain of the block. Fibre cement linear cladding panels will be used at the recessed penthouse level.

The building form of this 4 storey block is uncomplicated. The scale and materials help to transition between the Main Street scale of the existing apartment blocks to the north at 5-6 storeys and the adjacent existing housing across the street on Grange Lodge Avenue at 2-3 storeys.



Key precedent images of material palette for Block 29





**Linear Fibre Cement
Penthouse Cladding**

The penthouse level residential units are clad in linear fibre cement cladding and recessed to reduce overshadowing to neighbouring residents.

Brickwork facade

The primary facade cladding palette is a mixture of Natural red bricks and Dark Grey bricks which create a variation in the facade of the block and break down the scale and grain of the blocks.

**Painted Steel
Balconies &
Balustrades**

Prefinished off site for durability and high quality finish. 1.8m high wind screens in transparent glass are provided to the ends of balconies adjacent to corners of the building which were highlighted by the wind report.